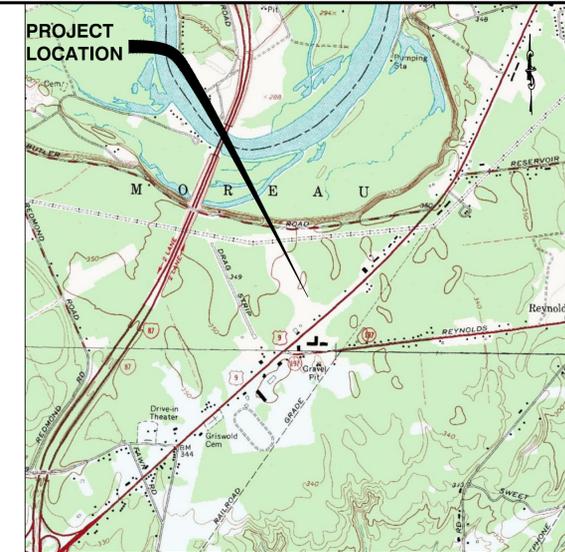


AERIAL MAP: 1" = 200'

PROPOSED ALLTOWN FRESH RETAIL MARKET

1401 SARATOGA ROAD (U.S. ROUTE 9)
TOWN OF MOREAU, NEW YORK

SEPTEMBER 7, 2021



LOCATION MAP: 1" = 2000'

INDEX OF DRAWINGS				
PAGE NO.	REV	SHEET NO.	DATE	DESCRIPTION
1	-	G-101	09/07/21	COVER SHEET
2	-	--	08/26/19	BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)
3	-	C-101	09/07/21	DEMOLITION PLAN
4	-	C-102	09/07/21	SITE LAYOUT PLAN
5	-	C-103	09/07/21	GRADING AND EROSION AND SEDIMENT CONTROL PLAN
6	-	C-104	09/07/21	UTILITY PLAN
7	-	C-501	09/07/21	SITE DETAILS
8	-	C-502	09/07/21	SITE DETAILS
9	-	C-505	09/07/21	WATER DETAILS
10	-	C-510	09/07/21	SANITARY SEWER DETAILS
11	-	C-515	09/07/21	STORMWATER DETAILS
12	-	C-516	09/07/21	STORMWATER DETAILS
13	-	C-520	09/07/21	LANDSCAPING DETAILS
14	-	C-525	09/07/21	EROSION AND SEDIMENT CONTROL DETAILS
15	-	RL-7503	06/30/21	LIGHTING AND PHOTOMETRIC PLAN (BY OTHERS)

OWNER INFORMATION:

PHYLLIS R. MOFFITT
399 OLD SARATOGA ROAD
GANSEVOORT, NEW YORK 12831

APPLICANT INFORMATION:

DRAKE PETROLEUM COMPANY, INC.
THOMAS DANIELUK
800 SOUTH STREET, SUITE 500
WALTHAM, MASSACHUSETTS 02453
TEL: (860) 428-3870

CIVIL/SITE ENGINEER:

GPI

**GREENMAN-PEDERSEN, INC.
CONSULTING ENGINEERS**

80 WOLF ROAD, SUITE 300
ALBANY, NY 12205
TEL: (518) 453-9431
WWW.GPINET.COM

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	REVISIONS			NO.	REVISIONS		
	BY:	CHK:	APP'D:		BY:	CHK:	APP'D:

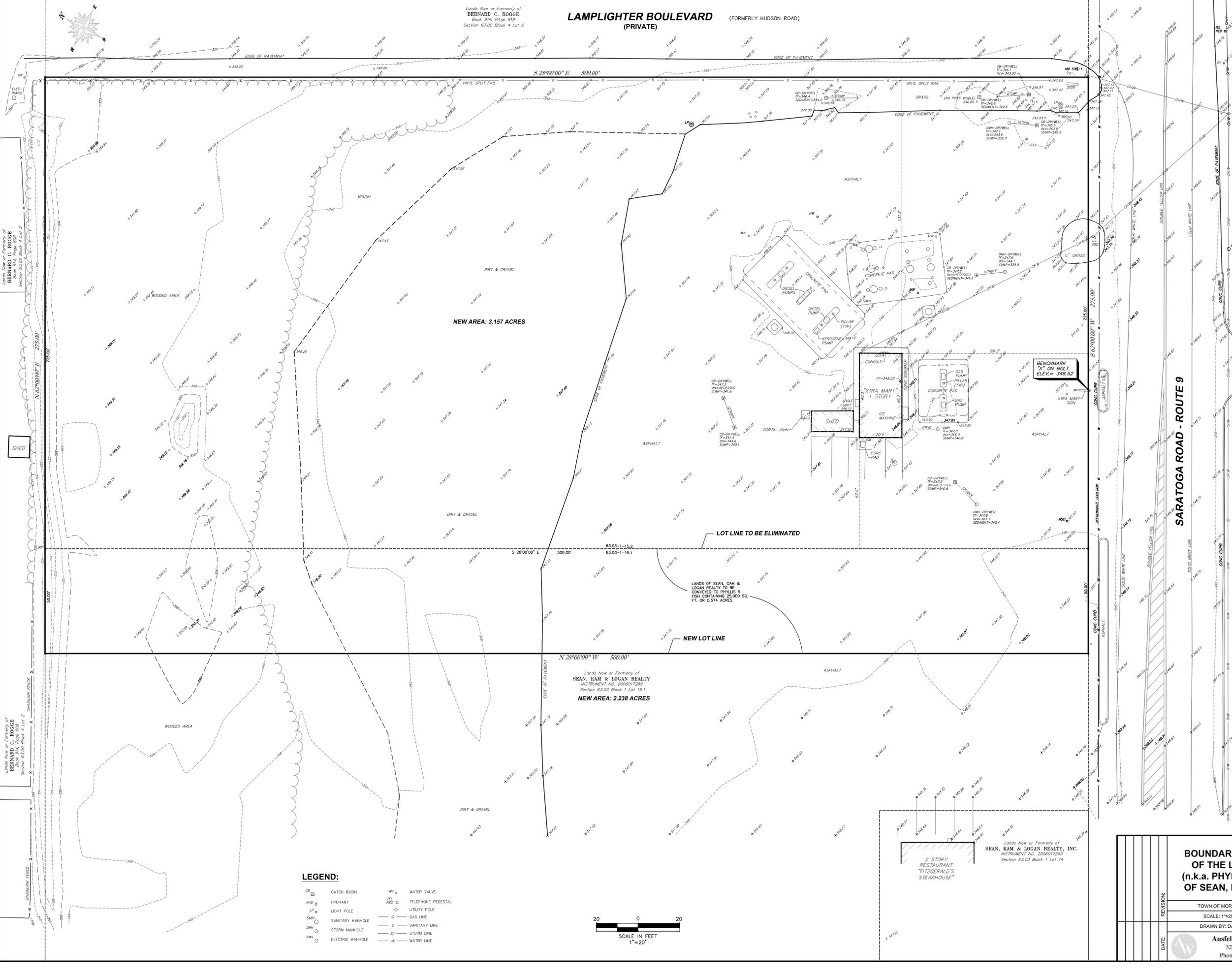
GPI
GREENMAN-PEDERSEN, INC.
CONSULTING ENGINEERS
80 WOLF ROAD, SUITE 300
ALBANY, NY 12205
(518) 453-9431

PROPOSED ALLTOWN FRESH
RETAIL MARKET
TOWN OF MOREAU
SARATOGA COUNTY, NEW YORK

DESIGNED BY: J. O'CONNOR	APPROVED BY: J. MONTAGNE
DRAFTED BY: A. JOHNSON	DATE: 09/07/21
CHECKED BY: J. MONTAGNE	GPI PROJECT NO. ALB-2021057.00

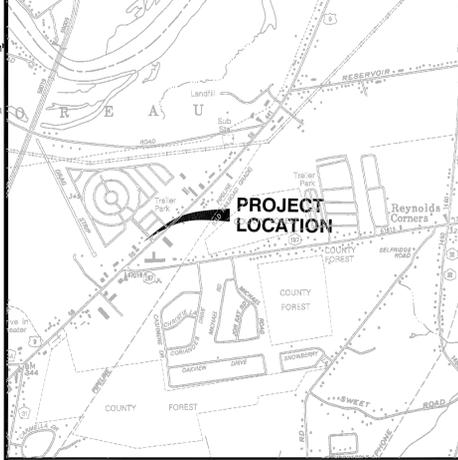
SHEET TITLE:
COVER SHEET

SHEET NUMBER:
G-101



Lands Now or Formerly of
BERNARD C. ROGGE
 Book 914, Page 819
 Section 63.03 Block 4 Lot 2

LAMPLIGHTER BOULEVARD (PRIVATE) (FORMERLY HUDSON ROAD)



SITE LOCATION PLAN: 1"=2000'

GENERAL NOTES:

VERTICAL DATUM IS BASED UPON NAVD83 DATUM FROM GPS OBSERVATION.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.

SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.

UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.

DEED REFERENCES:

- SARATOGA COUNTY TO PHYLLIS R. FISH, n.k.a. PHYLLIS R. MOFFITT, DATED OCTOBER 21, 2008 AND RECORDED IN THE SARATOGA COUNTY CLERKS OFFICE AS INSTRUMENT 2008036179.
- HAMILTON AND DOROTHY HOFFMAN TO ARTHUR J. FISH, JR., DATED JANUARY 12, 1979 AND RECORDED IN THE SARATOGA COUNTY CLERKS OFFICE IN DEED BOOK 991 AT PAGE 264.

TAX PARCEL NUMBER:

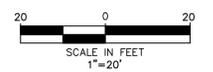
TOWN OF MOREAU, SARATOGA COUNTY, NEW YORK SEC. 63.03 - BLK. 1 - PARCEL 15.2

MAP REFERENCES:

- "MAP OF PIONEER FARMS, DATED AUGUST 3, 1934, PREPARED BY MEYER BOWERS AND ASHLEY, FILED IN THE SARATOGA COUNTY CLERKS OFFICE IAS MAP FF-15.

LEGEND:

CB	CATCH BASIN	WV	WATER VALVE
HYD	HYDRANT	TEL	TELEPHONE PEDESTAL
LP	LIGHT POLE	UT	UTILITY POLE
SMH	SANITARY MANHOLE	G	GAS LINE
DMH	STORM MANHOLE	S	SANITARY LINE
EMH	ELECTRIC MANHOLE	ST	STORM LINE
		W	WATER LINE



1401 U.S. ROUTE 9		BOUNDARY & TOPOGRAPHIC SURVEY OF THE LANDS OF PHYLLIS R. FISH (n.k.a. PHYLLIS R. MOFFITT) & PORTION OF SEAN, KAM & LOGAN REALTY, INC.	
TOWN OF MOREAU	SARATOGA COUNTY, N.Y.		
SCALE: 1"=20'	AUGUST 26, 2019		
DRAWN BY: DAP	PROJECT NO: 19-2562		
Ausfeld & Waldruft Land Surveyors LLP 323 Clinton Street, Schenectady N.Y. 12305 Phone: (518) 346-1595 Fax: 518-770-1655		VINCENT P. AUSFELD P.L.S. LICENSE #49597 www.awslp.com	

EXISTING CONDITIONS NOTES:

GENERAL NOTES:

- UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTION TEST BORINGS, EXCAVATION AND CONSTRUCTION.

SURVEY REFERENCE:

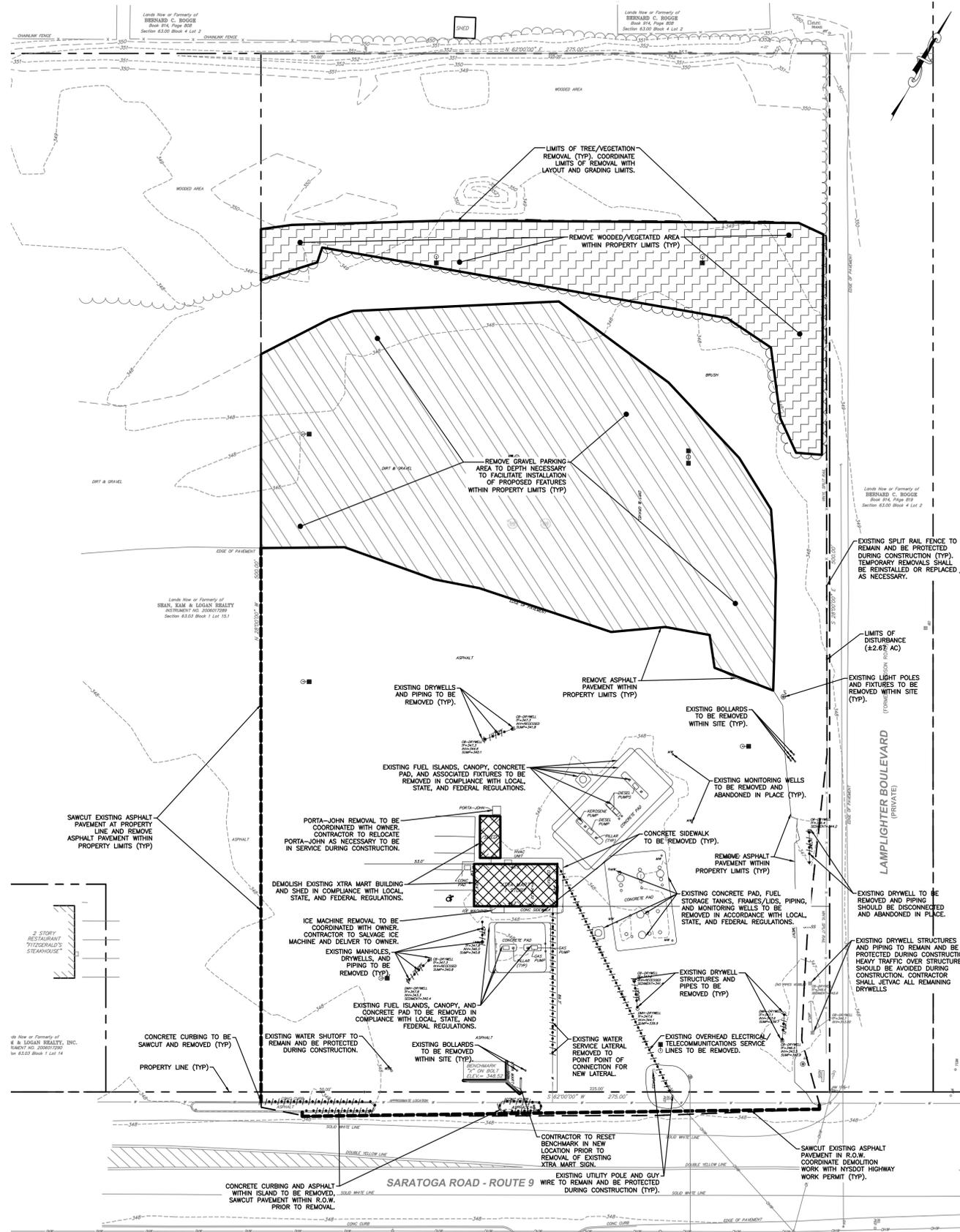
- "BOUNDARY & TOPOGRAPHIC SURVEY OF THE LANDS OF PHYLLIS R. FISH (N.K.A. PHYLLIS R. MOFFITT) & PORTION OF SEAN, KAM & LOGAN REALTY, INC" PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS LLP. DATED AUGUST 26, 2019.

TAX PARCEL NUMBER:

TOWN OF MOREAU, SARATOGA COUNTY, NEW YORK
SEC 63.03 - BLK. 1 - PARCEL 15.2

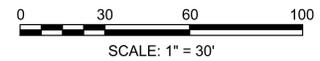
DEMOLITION NOTES:

- REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENT CONTROL PLANS & NOTES PRIOR TO COMMENCEMENT OF WORK.
- CONFORM TO APPLICABLE CODE AND PERMIT REQUIREMENTS FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND HAULING, DISPOSAL AND STORAGE OF DEBRIS.
- PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES AS REQUIRED.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECT DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
- LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
- PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSSES.
- MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS OR SIDEWALK WITHOUT PERMITS. COORDINATE WITH AUTHORITY HAVING JURISDICTION.
- CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
- ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS, AND PROVIDE POSITIVE DRAINAGE.
- ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY UNLESS OTHERWISE NOTED.
- FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE BUILDING DEMOLITION OPERATIONS.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
- USE WATER MIST, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING ICING, FLOODING, AND TRANSPORTING POLLUTANTS.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.
- PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN DEMOLISHED MATERIALS ON-SITE.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE GOVERNING COUNTY'S HEALTH DEPARTMENT AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
- ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE, SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.
- THE CONTRACTOR SHALL NOT LEAVE OPEN ANY HOLES OR TRENCHES OVERNIGHT OR DURING ANY TIME NOT ACTIVELY WORKING ON THE PROJECT IN AREAS OF PUBLIC ACCESS.
- REMOVAL OF UTILITY POLES AND OVERHEAD WIRES SHALL BE COMPLETED BY NATIONAL GRID. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES.



DEMOLITION LEGEND:

- PROPERTY LINE
- DISTURBANCE LIMITS
- EXISTING BUILDING OUTLINE
- SAWCUT LINE
- REMOVE LINEAR ITEM
- EXISTING GRAVEL AREA TO BE REMOVED
- EXISTING STRUCTURE TO BE REMOVED
- CLEAR AND GRUB EXISTING VEGETATION



GPI Engineering Design Planning Construction Management
518.453.9431 GPNET.COM
Greenman-Pedersen, Inc.
80 Wolf Road, Suite 300
Albany, NY 12205

PREPARED FOR
GLOBAL MONTELLO GROUP
800 SOUTH STREET
SUITE 500
WALTHAM, MA

**PROPOSED ALLTOWN FRESH
RETAIL MARKET**
1401 U.S. ROUTE 9
MOREAU, NEW YORK

**PROGRESS PRINT
NOT FOR CONSTRUCTION**
03 SEPT. 21

ISSUED FOR PERMIT REVIEW ONLY. THESE DRAWINGS ARE IN SUBSTANTIAL CONFORMANCE WITH THE BUILDING CODE.

REVISIONS		
NO.	REVISION	DATE

90% DESIGN DOCUMENTS
SEPTEMBER 7, 2021

DRAWN/DESIGN BY ABJ	CHECKED BY JDO
------------------------	-------------------

DEMOLITION PLAN
(24x36)

GPI PROJECT/CONTRACT NO.:
ALB-2021057.00

C-101

SHEET 3 OF 15

Sep. 03.2021
 E:\2021\2021057.00 Moreau Global Station Rte 9\CADD\2021057.00 C-101 Demolition Plan.dwg
 36x24 PLDT SHEET

THE ALTERATION OF THIS DOCUMENT IN ANY WAY, UNLESS UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.

Sep 03, 2021
 E:\2021\2021057.00 Moreau Global Station Rte 9\CADD\2021057.00 C-102 Site Layout Plan.dwg
 36x24 PLOT SHEET

BULK TABLE - ZONING REQUIREMENTS:

TOWN OF MOREAU: GENERAL COMMERCIAL DISTRICT (C-1)			
	REQUIRED:	EXISTING:	PROPOSED:
MINIMUM LOT AREA:	1 AC	±3.16 AC	±3.16 AC
MINIMUM LOT WIDTH:	200 FT	± 225 FT	± 225 FT
MAXIMUM BUILDING COVERAGE:	40%	0.7%	8.0%
PARKING REQUIREMENTS*: RETAIL STORE: 1 SPACE PER 100 SF			
MIN SPACE SIZE:	200 SF	±9.5' X ±19.5'	200 SF (10'X20')
REQUIRED SPACES:	48	9	57
SETBACKS**:			
		BLDG. CANOPY	BLDG. CANOPY
FRONT:	80 FT	±89 FT	±57 FT ±192 FT ±82 FT
SIDE:	15 FT	±104 FT	±76 FT ±74 FT ±74 FT
REAR:	30 FT	±366 FT	±335 FT ±250 FT ±126 FT

* BASED ON "GROSS STORE FLOOR AREA" (149-47.B. (5))
 ** DISTRICT SETBACKS APPLY TO BUILDINGS AND STRUCTURES

SITE LAYOUT NOTES:

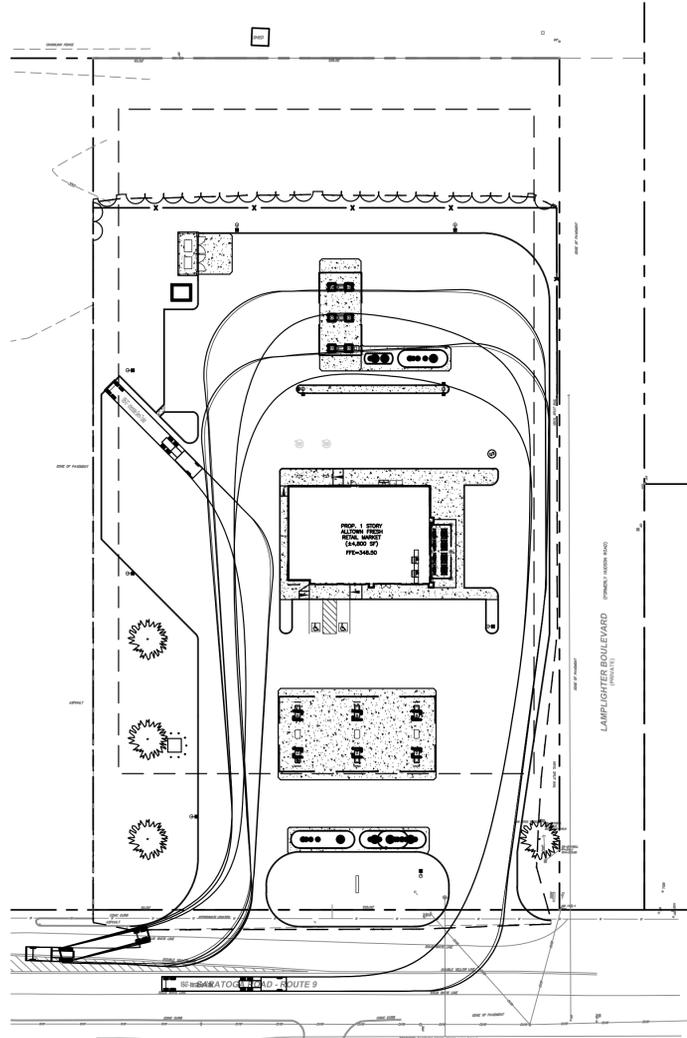
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
- NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION. A DETAILED MAINTENANCE AND PROTECTION OF TRAFFIC PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE TOWN OF MOREAU BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
- NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
- ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE. SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.

PAVING:

- NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
- SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 1, 2016, INCLUDING ALL REVISIONS AND ADDENDUMS. CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
- PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STRIKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SCREED. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
- PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAY'S WORK.
- TACK COAT WHEN SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
 - TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 1, 2016, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 - TACK COAT SHALL BE IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
 - REMOVE LOOSE AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
 - APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES AND SURFACES OF CURBS BELOW PAVEMENT LEVEL, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTING INTO OR ABUTTING PAVEMENT. DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
 - TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
- AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

LAYOUT :

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER/ARCHITECT AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADJUSTMENTS TO THE SATISFACTION OF THE OWNER/ARCHITECT AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.



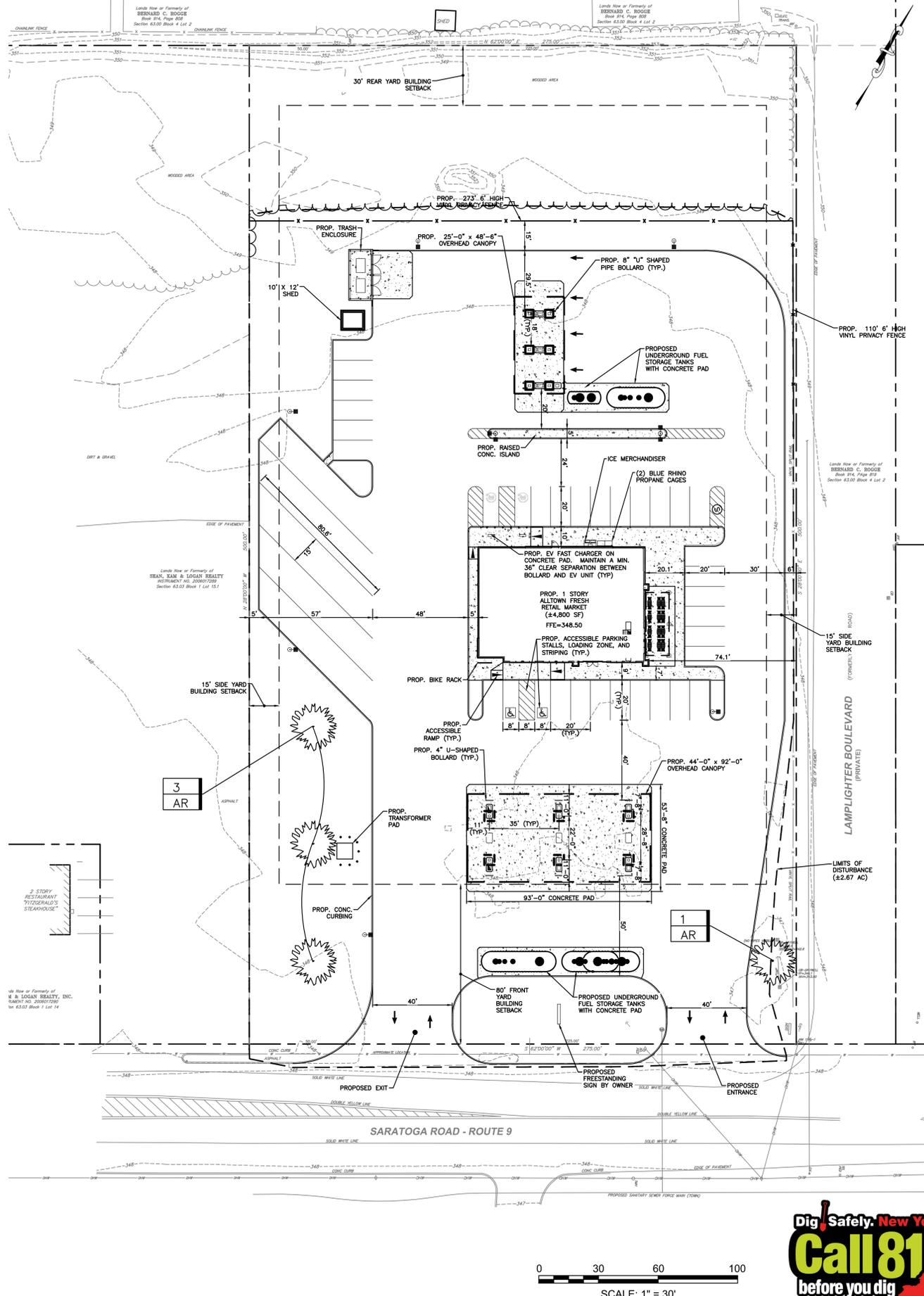
TRUCK TURNING MOVEMENT DETAIL
SCALE: 1"=50"

LANDSCAPE PLANTING SCHEDULE

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING
4	AR	ACER RUBRUM	RED MAPLE	2.5"-3" CAL.	B&B	AS SHOWN

SITE PLAN LEGEND:

- PROPOSED BUILDINGS
- SETBACK LINE
- CHAIN LINK FENCE
- STORMWATER MANAGEMENT AREA
- PROPOSED MAINTENANCE EASEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PARKING COUNT
- SIGN DESIGNATION



0 30 60 100
SCALE: 1" = 30'



GPI Engineering
 Design
 Planning
 Construction Management
 518.453.9431
 GPINET.COM
 Greenman-Pedersen, Inc.
 80 Wolf Road, Suite 300
 Albany, NY 12205

PREPARED FOR
 GLOBAL MONTELLO GROUP
 800 SOUTH STREET
 SUITE 500
 WALTHAM, MA

**PROPOSED ALLTOWN FRESH
 RETAIL MARKET**
 1401 U.S. ROUTE 9
 MOREAU, NEW YORK

**PROGRESS PRINT
 NOT FOR CONSTRUCTION**
 03 SEPT. 21
 ISSUED FOR PERMIT REVIEW ONLY. THESE DRAWINGS ARE
 IN SUBSTANTIAL CONFORMANCE WITH THE BUILDING CODE

REVISIONS

NO.	REVISION	DATE

90% DESIGN DOCUMENTS
 SEPTEMBER 7, 2021
 DRAWN/DESIGN BY: ABJ
 CHECKED BY: JDO

SITE LAYOUT PLAN (24x36)
 GPI PROJECT/CONTRACT NO.: ALB-2021057.00
C-102
 SHEET 4 OF 15

THE ALTERATION OF THIS DOCUMENT IN ANY WAY, UNLESS UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.

PREPARED FOR
 GLOBAL MONTELLO GROUP
 800 SOUTH STREET
 SUITE 500
 WALTHAM, MA

**PROPOSED ALLTOWN FRESH
 RETAIL MARKET**
 1401 U.S. ROUTE 9
 MOREAU, NEW YORK

**PROGRESS PRINT
 NOT FOR CONSTRUCTION**
 03 SEPT. 21

REVISIONS		
NO.	REVISION	DATE

90% DESIGN DOCUMENTS
 SEPTEMBER 7, 2021

DRAWN/DESIGN BY: ABJ CHECKED BY: JDO

**GRADING,
 DRAINAGE AND
 E&S PLAN**
 (24x36)

GPI PROJECT/CONTRACT NO.:
 ALB-2021057.00

C-103

SHEET 5 OF 15

GRADING NOTES:

- PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
- IF BEDROCK IS ENCOUNTERED, BLASTING MUST RECEIVE LOCAL APPROVAL. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED, SCREENED AND THEN REUSED IN LAWN AND PLANTING AREAS ONLY. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN. (SEE SHEET C-520 FOR TOPSOIL AND AMENDMENT REQUIREMENTS)
- BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.

CONSTRUCTION SEQUENCING NOTES:

- HOLD PRE-CONSTRUCTION MEETING AT LEAST 1 WEEK PRIOR TO STARTING CONSTRUCTION WITH ALL INVOLVED PARTIES.
- PRIOR TO COMMENCING ANY CLEARING, GRUBBING, EARTHWORK ACTIVITIES, ETC. AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, TREE PROTECTION/BARRIER FENCES, STABILIZED CONSTRUCTION ACCESSES, STORM DRAIN SEDIMENT FILTERS, SEDIMENT TRAP, ETC.) INDICATED ON THE PROJECT DRAWINGS OR AS NECESSARY. THE CONTRACTOR SHALL INSTALL INLET AND OUTLET PROTECTION MEASURES (RIPRAP OVERFLOW WEIR(S), CULVERT INLET/OUTLET PROTECTION, ETC.) TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THEIR TRIBUTARY AREAS.
- THE CONTRACTOR SHALL COMMENCE SITE CONSTRUCTION ACTIVITIES INCLUDING CLEARING & GRUBBING OF THE PROPOSED AREA OF DISTURBANCE AS REQUIRED.
- ROUGH GRADE SITE, STOCKPILE TOPSOIL, CONSTRUCT DIVERSION CHANNELS AS NECESSARY AND INSTALL/RE-LOCATE SEDIMENT BARRIERS (I.E. SILT FENCE) AS NEEDED.
- INSTALL PROTECTIVE MEASURES AT THE LOCATIONS OF ALL GRATE INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES.
- CONSTRUCT ALL UTILITIES, CURB AND GUTTER, GUTTER INLETS, AREA INLETS, AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION.
- FINALIZE PAVEMENT SUB-GRADE PREPARATION.
- REMOVE PROTECTIVE MEASURES AROUND INLETS AND MANHOLES NO MORE THAN 24 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
- INSTALL SUB-BASE MATERIAL AS REQUIRED FOR PAVEMENT.
- REMOVE TEMPORARY CONSTRUCTION ACCESS ONLY PRIOR TO PAVEMENT CONSTRUCTION IN THESE AREAS (THESE AREAS TO BE PAVED LAST).
- COMPLETE FINAL GRADING OF GROUNDS, TOPSOIL, AND PERMANENTLY VEGETATE, LANDSCAPE, AND MULCH.
- PRIOR TO FINALIZING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY, ALL CATCH BASINS AND DRAINAGE LINES SHALL BE CLEANED OF ALL SILT AND SEDIMENT.
- AFTER THE SITE IS STABILIZED THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY ESTABLISH PERMANENT VEGETATION ON THE AREAS DISTURBED DURING THEIR REMOVAL.

GENERAL NOTES:

- SEE SHEET C-525 FOR ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES.

ABBREVIATIONS:

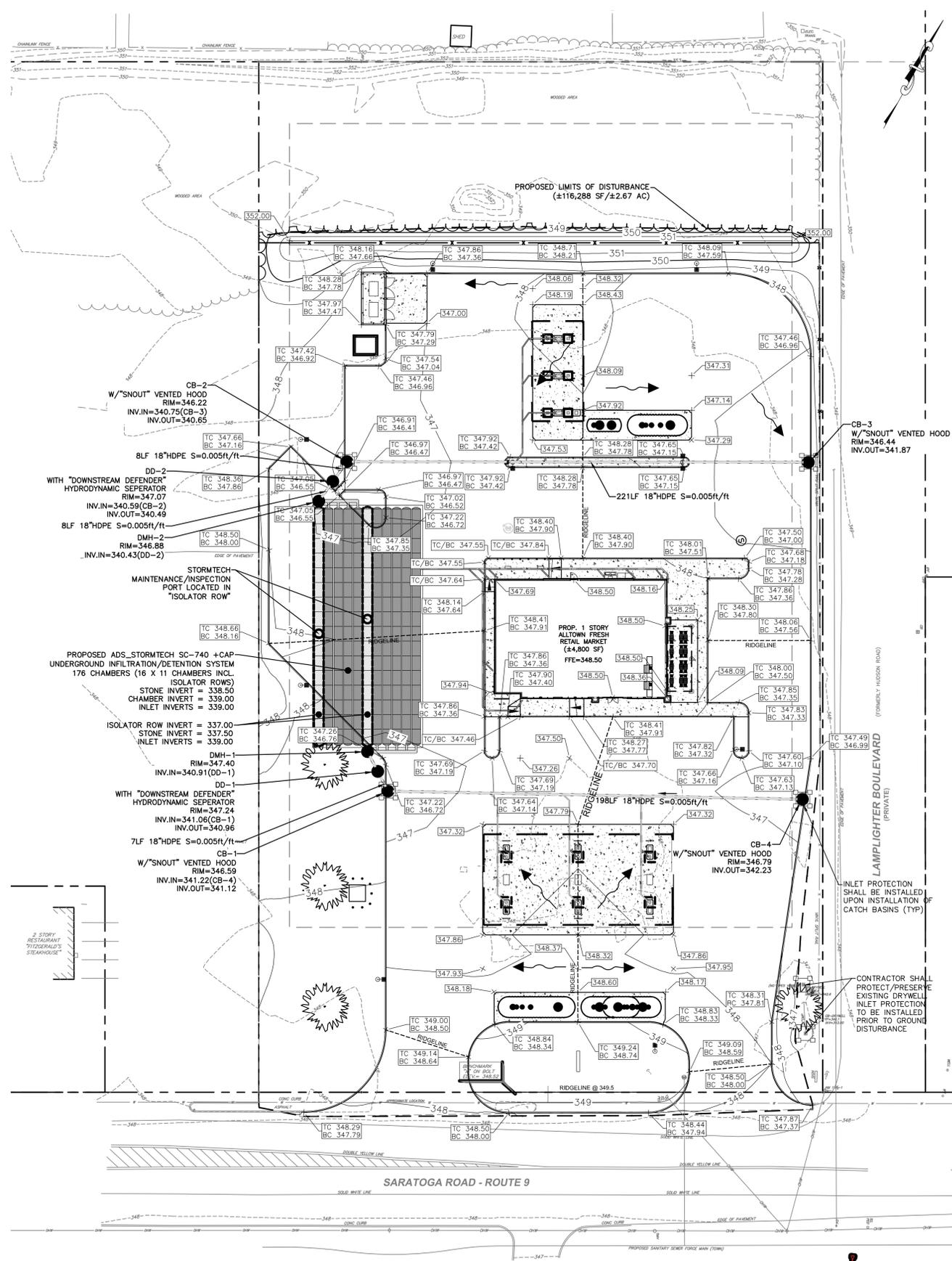
TF	TOP OF FRAME
HP	HIGH POINT
LP	LOW POINT
TC	TOP OF CURB
BC	BOTTOM OF CURB
INV	INVERT
ME	MATCH EXISTING
TW	TOP OF RETAINING WALL
BW	BOTTOM OF RETAINING WALL
FFE	FINISHED FLOOR ELEVATION

GRADING PLAN LEGEND:

	DISTURBANCE LIMITS
	PROPOSED 1 FT CONTOURS
	PROPOSED 5 FT CONTOURS
	PROPOSED SPOT ELEVATION
	SWALE LINE
	STONE LINED APRON
	GRADE TO DRAIN FLOW PATH

EROSION AND SEDIMENT CONTROL LEGEND:

	PROPERTY LINE
	DISTURBANCE LIMITS
	INLET PROTECTION



Sep. 03, 2021
 E:\2021\2021057.00 Moreau Global Station Rte 9\CADD\2021057.00 C-103 Grading Plan.dwg
 36x24 PLDT SHEET

THE ALTERATION OF THIS DOCUMENT IN ANY WAY, UNLESS UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.

PREPARED FOR
GLOBAL MONTELLO GROUP
 800 SOUTH STREET
 SUITE 500
 WALTHAM, MA

**PROPOSED ALLTOWN FRESH
 RETAIL MARKET**
 1401 U.S. ROUTE 9
 MOREAU, NEW YORK

PROGRESS PRINT
 NOT FOR CONSTRUCTION
 03 SEPT. 21
ISSUED FOR PERMIT REVIEW ONLY. THESE DRAWINGS ARE IN SUBSTANTIAL CONFORMANCE WITH THE BUILDING CODE.

REVISIONS

NO.	REVISION	DATE

90% DESIGN DOCUMENTS
 SEPTEMBER 7, 2021

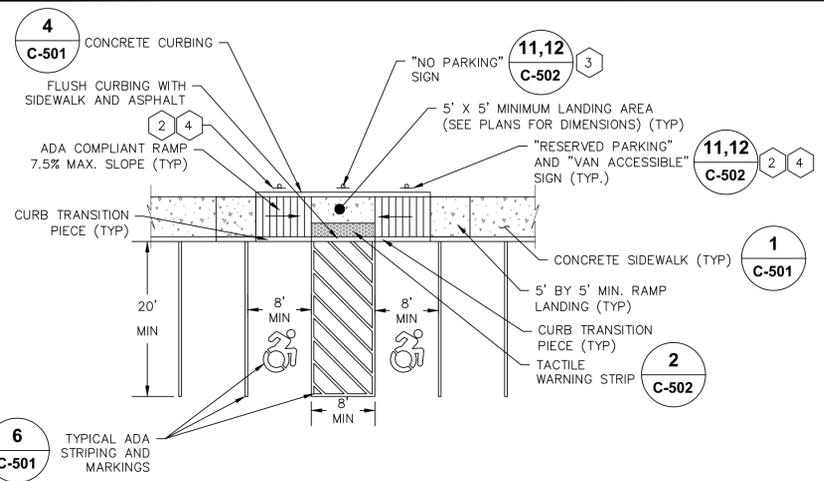
DRAWN/DESIGN BY ABJ	CHECKED BY JDO
------------------------	-------------------

SITE DETAILS
 (24x36)

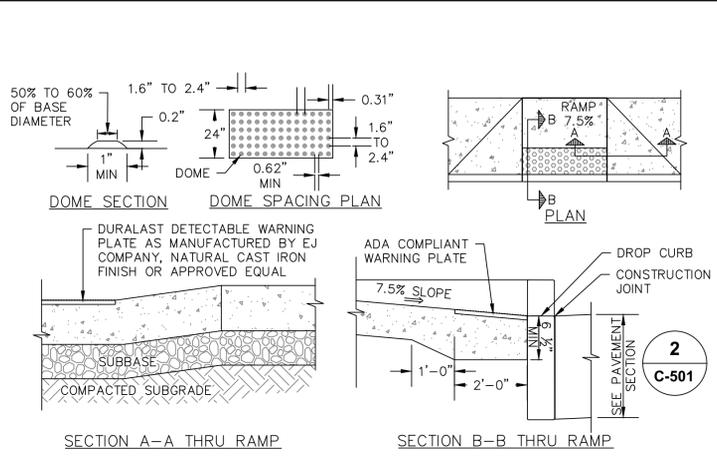
GPI PROJECT/CONTRACT NO.:
 ALB-2021057.00

C-502

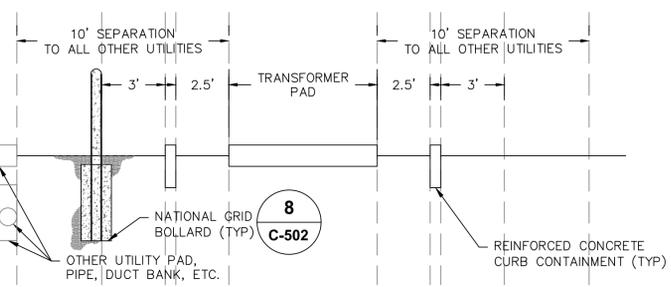
SHEET 8 OF 15



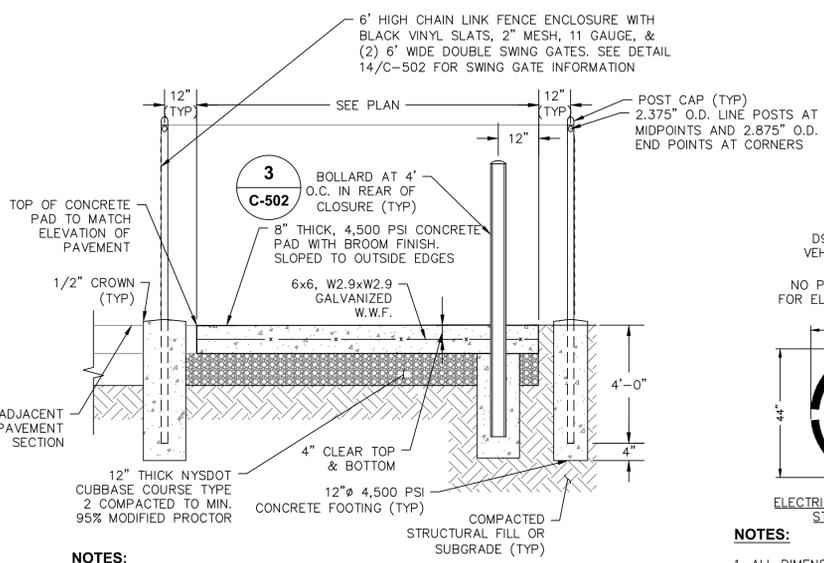
**ADA SIDEWALK RAMPS
 ADJACENT TO PARKING STALLS**
 SCALE: NOT TO SCALE



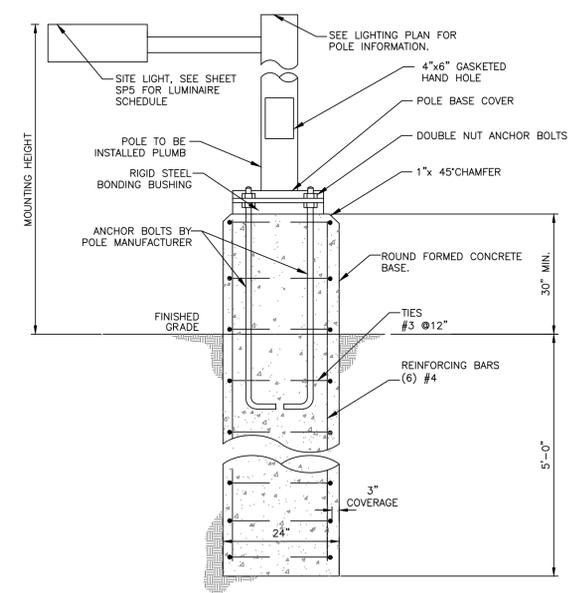
TACTILE WARNING FOR RAMPS
 SCALE: NOT TO SCALE



TRANSFORMER CONTAINMENT
 SCALE: 1/4"=1'-0"



**6' HIGH BLACK PVC FENCE
 DUMPSTER ENCLOSURE W/PAD**
 SCALE: NOT TO SCALE

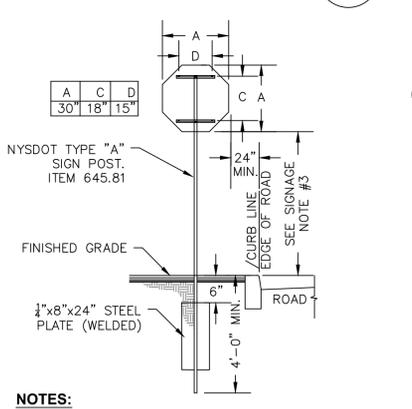


**EXTERIOR MOUNTED
 LIGHT WITH CONCRETE BASE**
 SCALE: NOT TO SCALE

LIGHT POLE FOUNDATIONS

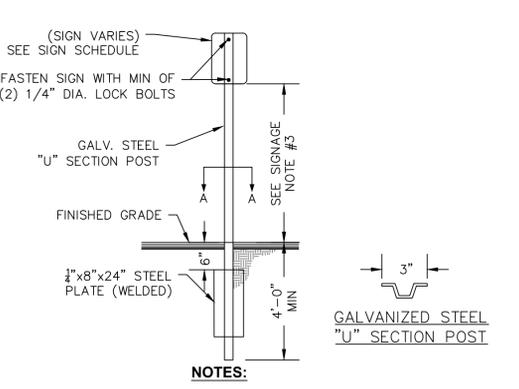
POLE HEIGHT	DIAM.	DEPTH	REIN. BARS	TIES
<15'	18"	5'-0"	(4)#6	#3@18"
25'	24"	5'-0"	(6)#4	#3@12"
30'	24"	5'-6"	(6)#4	#3@12"
35'	24"	6'-0"	(6)#4	#3@12"
40'	24"	6'-0"	(6)#5	#3@12"
50'	24"	7'-0"	(8)#6	#3@12"

- NOTES:
- CONDUITS AND GROUNDING SHALL BE AS SPECIFIED BY MEP ENGINEER.
 - ALL CONCRETE SHALL BE 3,000 PSI @ 28 DAYS
 - DESIGNED FOR 90 MPH WIND WITH FIXTURE AREA OF 13 SF
 - FOUNDATION DIAMETER AND REINFORCING CIRCLE SHALL BE COORDINATED WITH ANCHOR BOLT LIMITS
 - FOUNDATIONS SHALL BEAR ON UNDISTURBED NATURAL SOIL OR COMPACTED CRUSH STONE
 - ALL EXCAVATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPACTED TO 95% OF MAXIMUM MATERIAL DENSITY
 - EXPOSED AREAS OF CONCRETE AND ONE FOOT MIN BELOW FINISHED GRADE SHALL BE FORMED

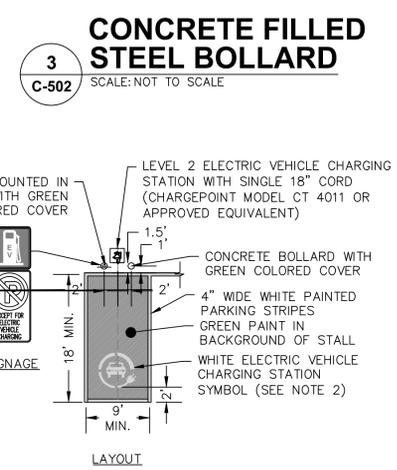


**SINGLE POST STOP
 SIGN MOUNTING DETAIL**
 SCALE: NOT TO SCALE

**PAVEMENT STRIPING AND SIGNAGE DETAILS
 FOR ELECTRIC VEHICLE PARKING STALL**
 SCALE: NOT TO SCALE

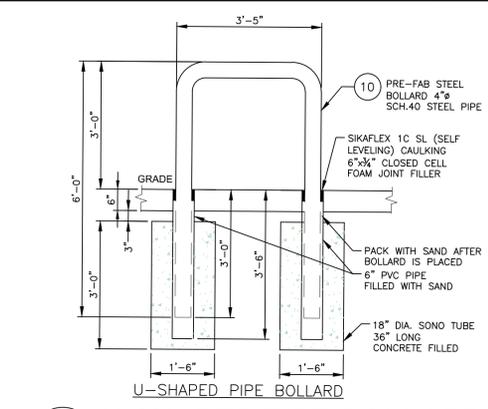


**SINGLE POST SIGN
 MOUNTING DETAIL**
 SCALE: NOT TO SCALE

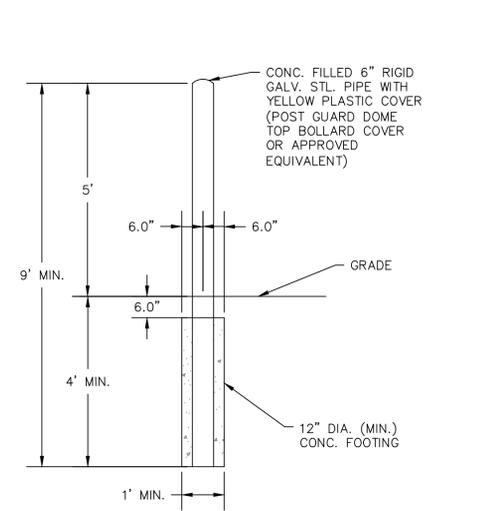


**CONCRETE FILLED
 STEEL BOLLARD**
 SCALE: NOT TO SCALE

- NOTES:
- ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH CURRENT ZONING AND SITE REGULATIONS.
 - PAINTED ELECTRIC VEHICLE PARKING STALL SYMBOL TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS IF APPLICABLE. CONTRACTOR SHALL USE A STENCIL TO APPLY SYMBOL.
 - SEE PLAN FOR ACTUAL SIGN LOCATIONS AND PARKING STALL DIMENSIONS.



U-SHAPED PIPE BOLLARD
 SCALE: NOT TO SCALE



**TYPICAL NATIONAL
 GRID BOLLARD DETAIL**
 SCALE: NOT TO SCALE

SIGN SCHEDULE

SIGN NO.	SIGN FACE	NUMBER	MIN SIZE	COLORS	
				BCK GRND	LEGEND
1	STOP	R1-1	30"x30"	RED	WHITE
2	RESERVED PARKING	NY R7-8D	12"x18"	WHITE/ BLUE	GREEN/ WHITE
3	NO PARKING ANY TIME	R7-1	12"x18"	WHITE	RED
4	VAN ACCESSIBLE	R7-8p	12"x6"	WHITE	BLUE
5	ONE WAY	R6-1L/R	36"x12"	BLACK	BLACK/ WHITE
6	DO NOT ENTER	R5-1	30"x30"	WHITE	WHITE/ RED

- SIGNAGE AND PAVEMENT MARKING NOTES:**
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, SECTION 640 & 645 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
 - SIGN POST SHALL BE IN ACCORDANCE W/ NYSDOT STANDARD SPECS SECTION 730.
 - SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
 - STRIPING WORK WILL BE REVIEWED AND ACCEPTED BY THE ENGINEER.

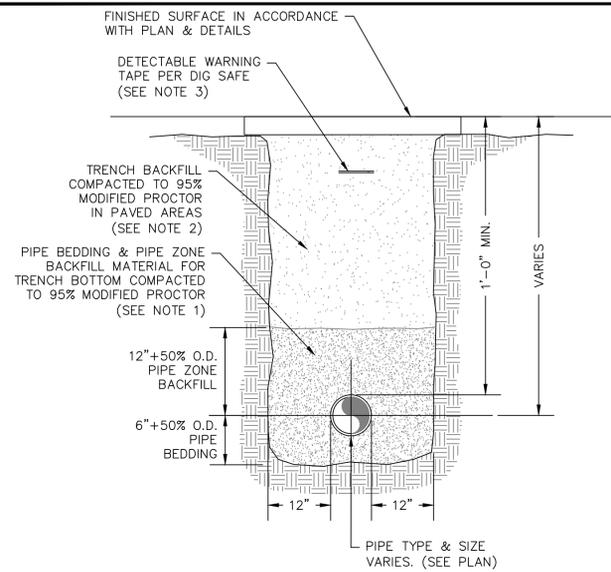
SIGN FACE SCHEDULE
 SCALE: NOT TO SCALE

Sep. 03.2021
 E:\2021\2021057.00 Moreau Global Station Rte 9\CADD\2021057.00 C-502 Site Details.dwg
 36x24 PLDT SHEET

ISSUED FOR PERMIT REVIEW ONLY. THESE DRAWINGS ARE IN SUBSTANTIAL CONFORMANCE WITH THE BUILDING CODE.

REVISIONS		
NO.	REVISION	DATE

90% DESIGN DOCUMENTS
 SEPTEMBER 7, 2021
 DRAWN/DESIGN BY: ABJ
 CHECKED BY: JDO



1 PIPE TRENCH DETAIL (TYPICAL)
 C-510 SCALE: NOT TO SCALE

NOTES:

- PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

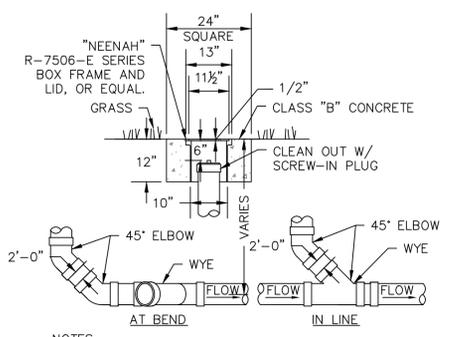
SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%

- TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

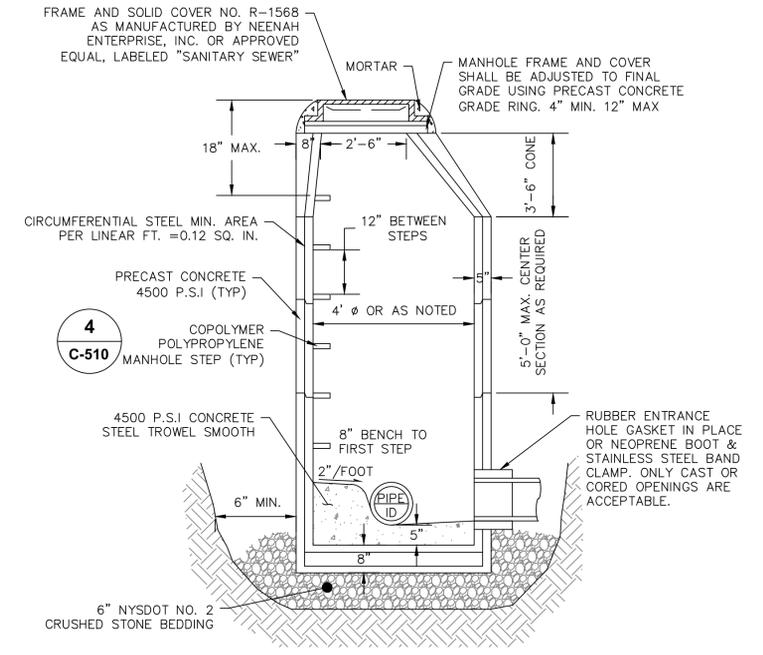
SIEVE DESIGNATION	% PASSING
4"	100%
NO. 40	0-70%
NO. 200	0-10%

IN UNPAVED AREAS TRENCH BACKFILL CAN BE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER.

- INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
- TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.



2 SANITARY SEWER CLEANOUT
 C-510 SCALE: NOT TO SCALE

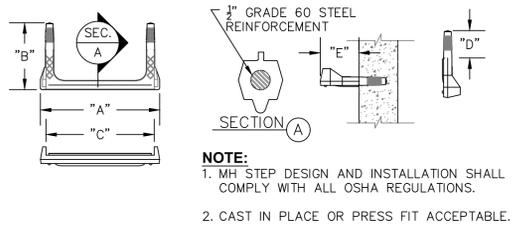


3 SANITARY SEWER MANHOLE
 C-510 SCALE: NOT TO SCALE

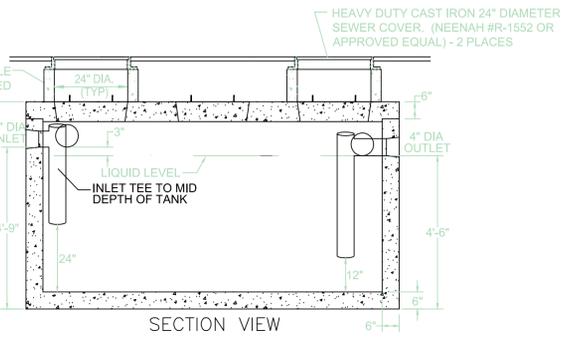
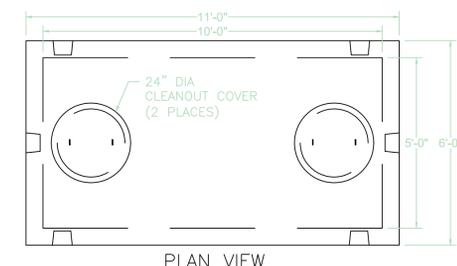
ACCEPTABLE MANHOLE STEPS

MANUFACTURER	PATTERN NUMBER	W/A STEP WIDTH	B/W LEG LENGTH	W/C RUNG CLEAR	D/D EMBEDMENT	R/W RUNG CLEAR
M.A. INDUSTRIES INC*	PS2-PF	15 7/16	9 3/8	14	3 3/8	6"
M.A. INDUSTRIES INC*	PS2-PFS	15 7/16	8 1/2	14	3 3/8	5 1/8"

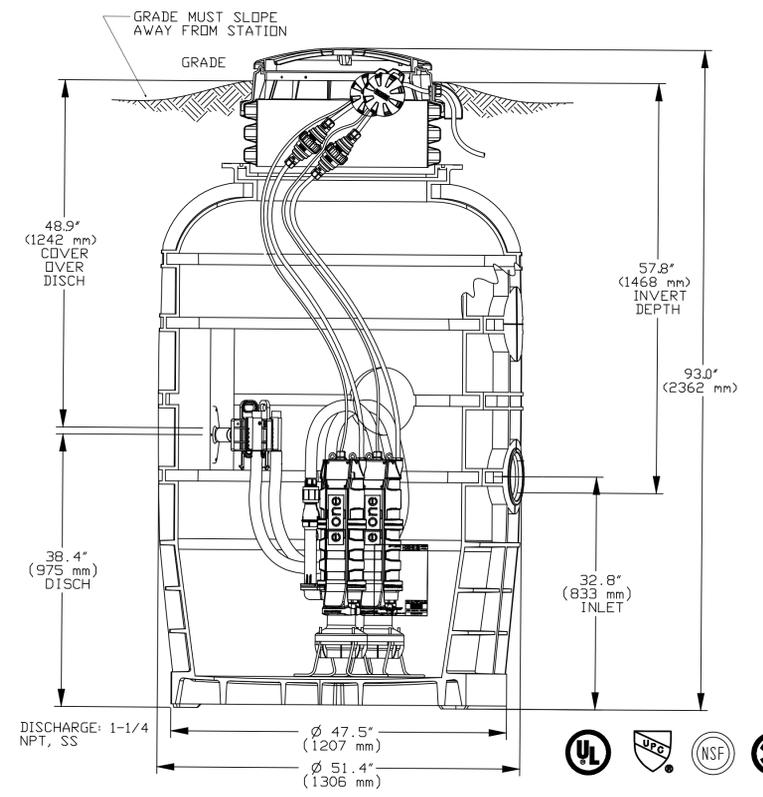
* OR EQUIVALENT



4 COPOLYMER POLYPROPYLENE MH STEP
 C-510 SCALE: NOT TO SCALE



1,500 GALLON GREASE TRAP DETAIL (H-20 LOADING)
 C-510 SCALE: NOT TO SCALE



6 UNDERGROUND E-1 GRINDER PUMP
 C-510 SCALE: NOT TO SCALE

Sep. 03, 2021
 E:\2021\2021057.00 Moreau Global Station Rte 9\CADD\2021057.00 C-510 Sanitary Details.dwg
 36x24 PLDT SHEET

PREPARED FOR
GLOBAL MONTELLO GROUP
 800 SOUTH STREET
 SUITE 500
 WALTHAM, MA

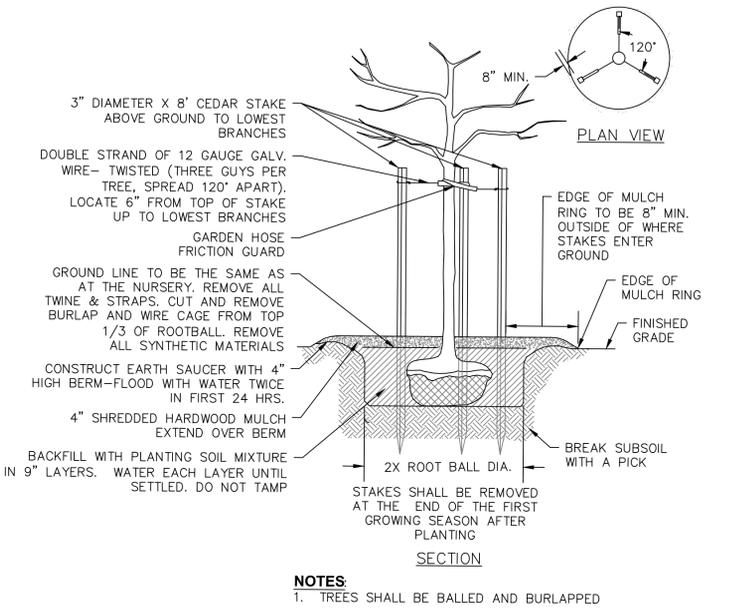
**PROPOSED ALLTOWN FRESH
 RETAIL MARKET**
 1401 U.S. ROUTE 9
 MOREAU, NEW YORK

PROGRESS PRINT
 NOT FOR CONSTRUCTION
 03 SEPT. 21
ISSUED FOR PERMIT REVIEW ONLY. THESE DRAWINGS ARE IN SUBSTANTIAL CONFORMANCE WITH THE BUILDING CODE.

REVISIONS		
NO.	REVISION	DATE

90% DESIGN DOCUMENTS
 SEPTEMBER 7, 2021
 DRAWN/DESIGN BY: ABJ
 CHECKED BY: JDO

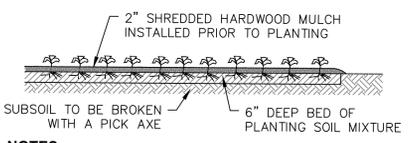
**LANDSCAPING
 DETAILS**
 (24x36)
 GPI PROJECT/CONTRACT NO.:
 ALB-2021057.00
C-520
 SHEET 13 OF 15



NOTES
 1. TREES SHALL BE BALLED AND BURLAPPED

3 PLANTING AND GUYING FOR DECIDUOUS TREES SMALLER THAN 3" CALIPER
 SCALE: NOT TO SCALE

3
 C-520



NOTES
 1. GROUND COVERS SHOULD BE POT OR CONTAINER GROWN.

4 GROUND COVER/ ANNUAL PLUG PLANTING
 SCALE: NOT TO SCALE

4
 C-520

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR SHALL CAREFULLY COORDINATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
- THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA AND REPORT TO THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
- THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
- NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
- QUALITY ASSURANCE:
 - NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
 - SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC (AAN), UNLESS OTHERWISE SPECIFIED.
 - NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS PLANTS NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HEELED IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.
 - SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WHEN AUTHORIZED, ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
- SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:
 - UNLESS OTHERWISE DIRECTED IN WRITING, SEED LAWNS FROM MARCH 15 TO JUNE 15, AND FROM AUGUST 15 TO OCTOBER 15.
 - UNLESS OTHERWISE DIRECTED IN WRITING, PLANT TREES AND SHRUBS FROM MARCH 15 TO JUNE 1, AND FROM AUGUST 15 TO OCTOBER 30.
 - AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE LAWNS OR PLANTINGS ARE TO BE ESTABLISHED AND WORK IS COMPLETE, SHALL BE RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE; WORK SHALL BE WITHIN THE SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER (TOPSOIL AND TEMPORARY COVER SEED MIX) WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.

LANDSCAPE MATERIALS:

- TOPSOIL:**
- NEW TOPSOIL SHALL BE BETTER THAN OR EQUAL TO THE QUALITY OF THE EXISTING ADJACENT TOPSOIL. IT SHALL MEET THE FOLLOWING CRITERIA:
 - ORIGINAL LOAM TOPSOIL, WELL DRAINED HOMOGENOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL.
 - CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
 - CONTAINING A pH VALUE WITHIN pH RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
 - CONTAINING THE FOLLOWING WASHED GRADATIONS:

SIEVE DESIGNATION	% PASSING
1"	100
1/4"	97-100
No. 200	20-60

SEED:

- SEED MIXTURE FOR USE ON LAWN AREAS:

PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS.

LAWN SEED MIX:

AMOUNT BY WEIGHT	SPECIES/VARIETY	MIN. PURITY	% GERMINATION
40%	KENTUCKY BLUE GRASS	95%	60%
35%	PERENNIAL RYE	98%	90%
25%	RED FESCUE	97%	85%
100%			

SOD:

 - NURSERY GROWN, CULTIVATED GRASS SOD WITH FIBROUS ROOT SYSTEM; FREE OF STONES, WEEDS, AND BURNED OR BARE SPOTS.
 - SPECIES MIX APPROPRIATE TO THE GEOGRAPHIC AREA WITH THE FOLLOWING RANGES:
 - BLUEGRASS: 50%-100%
 - FINE FESCUE: 0%-30%
 - PERENNIAL RYE GRASS: 0%-25%

SITE PREPARATION:

- GENERAL:**
- EXISTING EXCESS TOPSOIL SHALL BE REMOVED AND STORED IN TOPSOIL STOCKPILES SUFFICIENTLY REMOVED FROM OTHER EXCAVATION OR DISTURBANCE TO AVOID MIXING. SILT FENCE SHALL BE INSTALLED AROUND TOPSOIL STOCKPILE AREAS.
- TOPSOIL:**
- NEWLY GRADED SUBGRADES: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES (SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5%). REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD APPROXIMATELY 1/2 THE THICKNESS OF PLANTING SOIL OVER LOOSENED SUBGRADE, MIX THOROUGHLY INTO TOP 4 INCHES OF SUBGRADE. SPREAD REMAINDER OF PLANTING SOIL.
 - UNCHANGED SUBGRADES: IF TURF IS TO BE PLANTED IN AREAS UNALTERED OR UNDISTURBED BY EXCAVATING, GRADING, OR SURFACE-SOIL STRIPPING OPERATIONS. PREPARE SURFACE SOILS AS FOLLOWS:
 - REMOVE EXISTING GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
 - LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES (SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5%).
 - APPLY SOIL AMENDMENTS AND FERTILIZERS ACCORDING TO PLANTING SOIL MIX PROPORTIONS AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOI. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE.
 - APPLY FERTILIZER DIRECTLY TO SURFACE SOIL BEFORE LOOSENING.
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, TRASH, AND OTHER EXTRANEOUS MATTER.
 - LEGALLY DISPOSE OF WASTE MATERIAL, INCLUDING GRASS, VEGETATION, AND TURF, OFF OWNER'S PROPERTY.
 - FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANT WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
 - MOISTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY TO A DEPTH OF 4 INCHES 48 HOURS BEFORE SODDING AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.
 - BEFORE PLANTING, OBTAIN OWNER'S REPRESENTATIVE'S ACCEPTANCE OF FINISH GRADING; RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.

SEEDING:

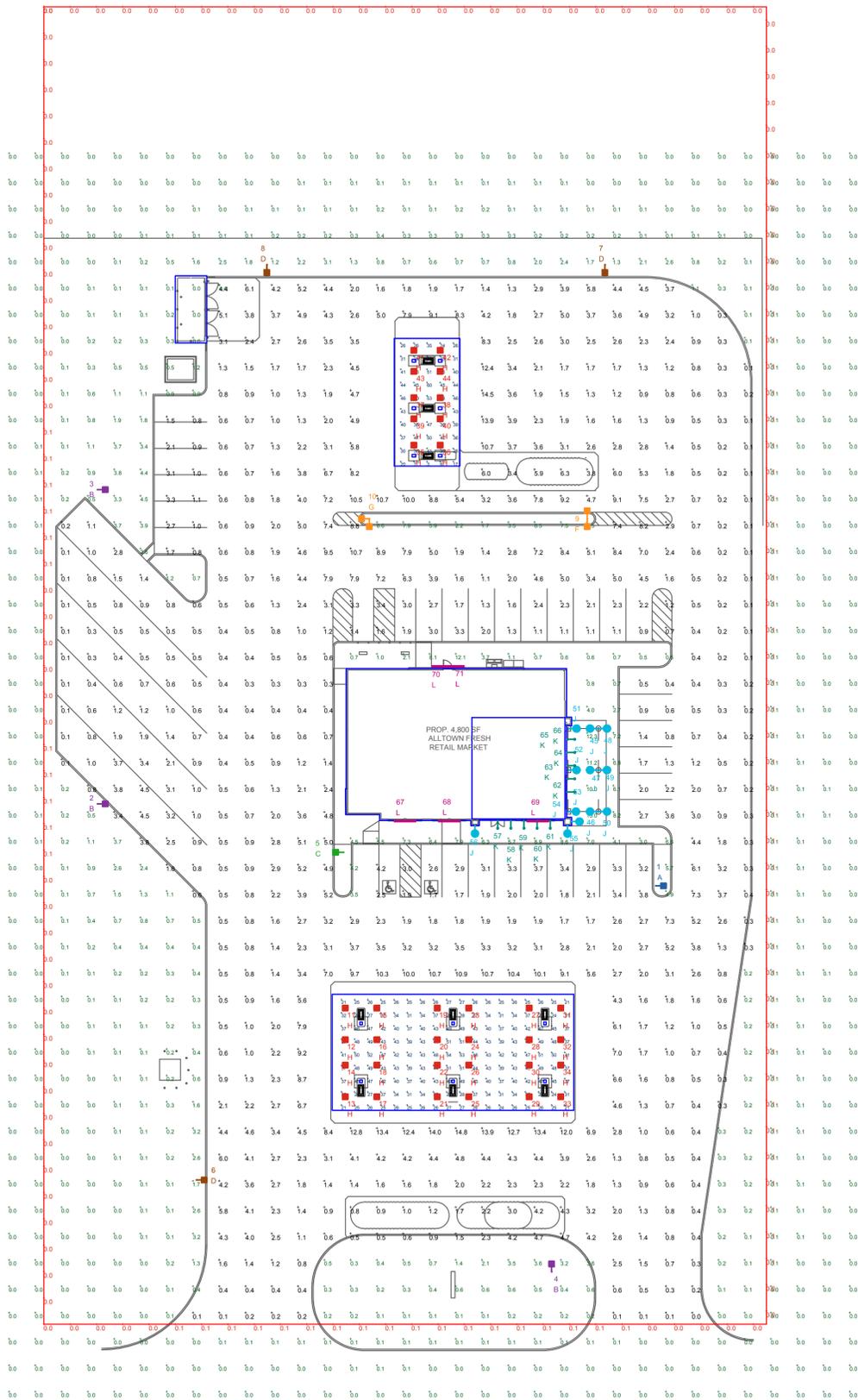
- LIME TO ACHIEVE pH OF 6.5.
 - FERTILIZER: SEE "EXECUTION OF LANDSCAPE WORK" NOTE #4.
 - INCORPORATE LIME AND FERTILIZER IN THE TOP 4" OF TOPSOIL.
 - SMOOTH AND FIRM THE SEEDBED.
- SOD:**
- APPLY LIME AT APPLICATION RATE RECOMMENDED BY SOIL ANALYSIS. WORK LIME INTO TOP 4 INCHES OF SOIL.
 - APPLY FERTILIZER AT APPLICATION RATE RECOMMENDED BY SOIL ANALYSIS.
 - APPLY FERTILIZER AFTER SMOOTH RAKING OF TOPSOIL AND PRIOR TO INSTALLATION OF SOD.
 - APPLY FERTILIZER NO MORE THAN 48 HOURS BEFORE LAYING SOD.
 - MIX FERTILIZER THOROUGHLY INTO UPPER 4 INCHES OF TOPSOIL.
 - LIGHTLY WATER SOIL TO AID DISSIPATION OF FERTILIZER.

EXECUTION OF LANDSCAPE WORK:

- LANDSCAPE WORK SHALL BE UNDERTAKEN AS SOON AS AREAS OF THE SITE BECOME AVAILABLE.
- TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5% SHALL BE PROMPTLY FERTILIZED, SEED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.
- PERFORM FINE GRADING TO FINISHED ELEVATION ONLY IMMEDIATELY PRIOR TO PLANTING. PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN SURFACE, FREE OF DEPRESSIONS OR RIDGES WITH A UNIFORM LOOSE, FINE TEXTURE.
- SOIL TESTING/AMENDING:
 - THE SOIL SHALL BE TESTED BY A QUALIFIED TESTING LABORATORY AND AMENDED (PER LABORATORY RECOMMENDATIONS) TO MEET TOPSOIL SPECIFICATIONS HEREIN. LABORATORY RECOMMENDATIONS SHALL BE SUBMITTED TO AND APPROVED BY LANDSCAPE ARCHITECT BEFORE AMENDMENTS ARE MADE.
 - APPLY FERTILIZER OF TYPE AND AT RATE RECOMMENDED BY TESTING LABORATORY FOR LAWN AREAS.
- LAWN (SEED):
 - SEED AT THE RATE OF 5 TO 6 LBS PER 1,000 SF.
 - APPLY SEED UNIFORMLY BY CYCLONE SEEDER CULTI-PACKER OR HYDRO-SEEDER AT RATE INDICATED.
 - ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
 - A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS/ACRE MIN., TO BE APPLIED ONCE SEEDING IS COMPLETE.
 - WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY HYDROSEEDER AT RATE OF 2,000 LBS/ACRE.
 - ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.
 - IRRIGATE TO FULLY SATURATE SOIL LAYER, BUT NOT TO DISCLOSE PLANTING SOIL.
- LAWN (SOD):
 - HARVEST, STORE AND HANDLE SOD ACCORDING TO REQUIREMENTS IN "SPECIFICATIONS FOR TURFGRASS SOD MATERIALS" AND "SPECIFICATIONS FOR TURFGRASS SOD TRANSPLANTING AND INSTALLATION" IN TPI'S "GUIDELINE SPECIFICATIONS FOR TURFGRASS SODDING." DELIVER SOD IN TIME FOR PLANTING WITHIN 24 HOURS OF HARVESTING. PROTECT SOD FROM BREAKAGE AND DRYING.
 - IRRIGATE PREPARED SURFACE NO LESS THAN 12, AND NO MORE THAN 24 HOURS, PRIOR TO LAYING SOD.
 - LAY SOD IMMEDIATELY AFTER DELIVERY TO SITE AND WITHIN 24 HOURS OF HARVESTING TO PREVENT DETERIORATION.
 - LAY SOD TIGHT WITH NO OPEN JOINTS VISIBLE, AND NO OVERLAPPING; STAGGER END JOINTS 12 INCHES MINIMUM. DO NOT STRETCH OR OVERLAP SOD PIECES.
 - LAY SMOOTH. LAY FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL AND TIGHTLY AGAINST PREVIOUS ROWS.
 - PLACE TOP ELEVATION OF SOD 1/2 INCH BELOW ADJOINING PAVING.
 - DO NOT PLACE SOD WHEN TEMPERATURE IS LOWER THAN 32 DEGREES F.
 - WATER SODDED AREAS IMMEDIATELY AFTER INSTALLATION. SATURATE SOD TO 4 INCHES OF SOIL.
 - AFTER SOD AND SOIL HAVE DRIED, ROLL SODDED AREAS TO BOND SOD TO SOIL AND TO REMOVE MINOR DEPRESSIONS AND IRREGULARITIES.
 - ROLL AGAIN BEFORE FIRST WATERING.
 - ALL NEWLY PLANTED AREAS SHALL BE KEPT MOIST BY WATERING UNTIL GRASSES AND GROUND COVERS ARE WELL ESTABLISHED. THE LANDSCAPE CONTRACTOR MUST WATER PLANT MATERIAL WHEN NECESSARY FOR 60 DAYS AFTER INSTALLATION.
 - LAWNS ARE TO BE WARRANTED UNTIL THEY BECOME ESTABLISHED, UNTIL FINAL ACCEPTANCE, AND NOT LESS THAN 60 DAYS AFTER COMPLETION OF ALL WORK. TREES, SHRUBS, GROUND COVERS, AND PERENNIALS SHALL BE WARRANTED AGAINST DEFECTS INCLUDING POOR GROWTH AND DEATH, EXCEPT WHEN RESULTING FROM OWNER NEGLIGENCE, INCIDENTS THAT ARE BEYOND THE CONTROL OF THE LANDSCAPE INSTALLER AND DAMAGE OR ABUSE BY OTHERS, FOR AT LEAST ONE FULL YEAR AFTER PROJECT COMPLETION.

TYPE OF SOIL DISTURBANCE	TABLE 5.3 SOIL RESTORATION REQUIREMENTS		COMMENTS/EXAMPLES
	SOIL RESTORATION REQUIREMENT		
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED		PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED		CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY (NO CHANGE IN GRADE)	HSG A&B***	HSG C&D***	PROTECT AREA FROM ONGOING CONSTRUCTION ACTIVITIES
	APPLY 6" OF TOPSOIL	AERATE* AND APPLY 6" OF TOPSOIL	
AREAS OF CUT OR FILL	HSG A&B***	HSG C&D***	APPLY FULL SOIL RESTORATION**
	AERATE* AND APPLY 6" OF TOPSOIL	APPLY FULL SOIL RESTORATION**	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY WITHIN 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN 5 FEET OF PERIMETER FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION** (DE-COMPACTION AND COMPOST ENHANCEMENT)		
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES		KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICE FROM ONGOING CONSTRUCTION, CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA.
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA		

* AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COULTERS MAKING A NARROW SILT IN THE SOIL, A ROLLER WITH MANY SKIPES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUBSOILER
 ** PER "DEEP RIPPING AND DE-COMPACTION, DEC 2008"
 *** HYDROLOGIC SOIL GROUP (HSG) ACCORDING TO THE NATIONAL RESOURCE CONSERVATION SERVICE.



THIS SITE IS LOCATED IN A REGION WHERE
LIGHTING IS REGULATED BY LOCAL ORDINANCES
ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE
FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING
AND DOES NOT RECOMMEND THESE LEVELS FOR
SECURITY AND SAFETY REASONS

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY, DIESEL	35.04	60	3	11.68	20.00
CANOPY, GAS	36.94	54	21	1.76	2.57
PAVED	2.63	14.8	0.0	N.A.	N.A.
PROPERTY LINES	0.04	0.1	0.0	N.A.	N.A.
UNDEFINED	0.58	15.0	0.0	N.A.	N.A.

NOTE:
- ALL AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
[Symbol A]	1	A	SINGLE	12678	1.030	B3-U0-G3	133.3	133.3	Cree Inc.	ARE-EDG-2M-DA-06-E-UL-XX-700-57K
[Symbol B]	3	B	SINGLE	8891	1.030	B1-U0-G2	134	402	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-XX-700-57K
[Symbol C]	1	C	SINGLE	12019	1.030	B3-U0-G3	134.2	134.2	Cree Lighting	ARE-EDG-3M-DA-06-E-UL-XX-700-57K
[Symbol D]	3	D	SINGLE	9549	1.030	B1-U0-G2	134	402	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-XX-700-57K
[Symbol F]	1	F	D180	12678	1.030	B3-U0-G2	134	268	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K
[Symbol G]	1	G	2 @ 90 DEGREES_1	12678	1.030	B3-U0-G2	134	268	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K
[Symbol H]	34	H	SINGLE	8924	1.030	B3-U0-G1	92	3128	CREE, INC.	CAN-304-SL-XX-04-E-UL-XX-700-57K
[Symbol J]	12	J	SINGLE	936	1.000	B1-U0-G0	18.1	217.2	TROY-CSL LIGHTING	RS16-LED1840-XX-3 + 3-LL23-XX
[Symbol K]	10	K	SINGLE	902	1.000	B1-U1-G1	15.01	150.1	TROY-CSL LIGHTING	RE12-LED1840-XX-3 +3-A30-XX
[Symbol L]	5	L	4' COVE LINEAR	883	1.000	B0-U2-G1	8.7	174	SSL Lighting	CVLWET-4-4K-120-XXX

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A	17
2	B	17
3	B	17
4	B	17
5	C	17
6	D	17
7	D	17
8	D	17
9	F	17
10	G	17
11	H	15
12	H	15
13	H	15
14	H	15
15	H	15
16	H	15
17	H	15
18	H	15
19	H	15
20	H	15
21	H	15
22	H	15
23	H	15
24	H	15
25	H	15
26	H	15
27	H	15
28	H	15
29	H	15
30	H	15
31	H	15
32	H	15
33	H	15
34	H	15
35	H	15

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
36	H	15
37	H	15
38	H	15
39	H	15
40	H	15
41	H	15
42	H	15
43	H	15
44	H	15
45	J	8
46	J	8
47	J	8
48	J	8
49	J	8
50	J	8
51	J	8
52	J	8
53	J	8
54	J	11.5
55	J	11.5
56	J	11.5
57	K	24
58	K	24
59	K	24
60	K	24
61	K	24
62	K	24
63	K	24
64	K	24
65	K	24
66	K	24
67	L	11.5
68	L	11.5
69	L	11.5
70	L	11.5
71	L	11.5

REV.	BY	DATE	DESCRIPTION
R1	LMP	09/01/21	REVISED PER UPDATED SITE PLAN

DISCLAIMER
ANY SITE PLAN(S), FLOOR PLAN(S), RENDERING(S), LIGHTING LAYOUT(S) AND PHOTOMETRIC PLAN(S) INCLUDING BUT NOT LIMITED TO ANY PROJECT(S) CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC., ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LASERS, SCANNERS, AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE RECOGNITIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR INTEGRITY OF EXISTING BUILDING(S), SURROUNDING AREA FOR PRODUCT(S) SUCH AS EXISTING POLES(S), ANCHOR BOLTS(S), BASE(S), ARCHITECTURAL AND SIGNAGE STRUCTURE(S), LANDSCAPING PLAN(S), LIGHTING PLAN(S), FIXTURE SELECTION(S) AND PLACEMENT, MATERIAL(S), COLOR ACCURACY, TEXTURE(S), AND ANYTHING ATTRIBUTED TO PHOTO REALISM THAT IS CREATED. FURTHERMORE, RED LEONARD ASSOCIATES INC. DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PUBLISHED WORK. THE CUSTOMER, ITS RELATIVE AFFILIATES, AS WELL AS ANY OTHER PERSON(S) IN VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES, AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THIS DOCUMENT(S) OR PROJECT(S). SYMBOLS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWING(S) OR PROJECT(S) IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY LOCATIONS OF EMERGENCY LIGHTING SHOWN WERE PROVIDED BY OTHERS. RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INSUFFICIENT LIGHTING DURING AN EMERGENCY EVENT. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAVINE J. LEONARD IS STRICTLY PROHIBITED.

SCALE: 1" = 30'
LAYOUT BY: LMP
DATE: 06/30/21

PROJECT NAME:
ALLTOWN MOREAU, NY
DRAWING NUMBER:
RL-7503-S1-R1