

GENERAL NOTES

INFORMATION SHOWN ON THE DRAWINGS IS TAKEN FROM A SOURCE BEING PREPARED BY THE SURVEYING FIRM.

LEGEND

- PROPERTY LINE SETBACKS
- UTILITY/ELECTRIC SERVICE
- SANITARY SEWER
- WATER SERVICE
- EDGE OF PAVEMENT
- UNDERGROUND GAS SERVICE

SITE DATA

PROPERTY ZONING CLASSIFICATION: C-1 COMMERCIAL
MINIMUM LOT WIDTH: 200 FEET
TAX MAP NUMBER: 48.4-3-1

EXISTING	REQUIREMENT	PERCENTAGE
307.7	50.0	15.00%
104.4	15.0	1.44%
104.4	10.0	0.97%
307.7	30.0	9.83%
207.0	20.0	9.66%
73.333	60.0	8.23%
60.000		

ACTUAL LOT SIZE: 2.84 ACRES (123,736 SF)
ACTUAL FRONTAGE: 179.45 FEET

EXISTING SITE COVERAGE CONDITIONS

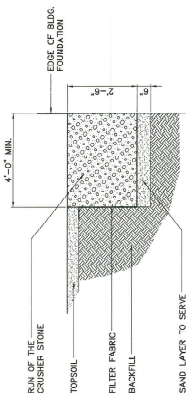
COMPONENT	AREA	PERCENTAGE
TOTAL SITE	123,736 SF	100.0%
PAVING & WALKS	29,442 SF	23.79%
GREEN SPACE	74,290 SF	60.00%

PROPOSED SITE COVERAGE CONDITIONS

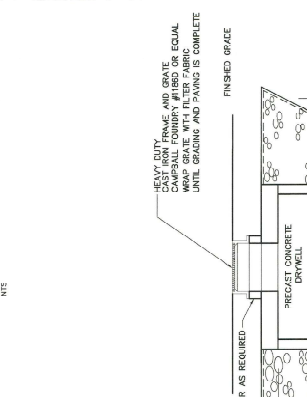
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WORK IS TO BE DONE IN ACCORDANCE WITH THE TOWN OF MOREAU ZONING REGULATIONS, TRADE RECOMMENDATIONS, AND ALL APPLICABLE STATE AND FEDERAL REGULATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF MOREAU PRACTICES.

ALL USES ON EXISTING SITE ARE TO BE CONNECTED TO THE MUNICIPAL SEWER AND WATER SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF MOREAU



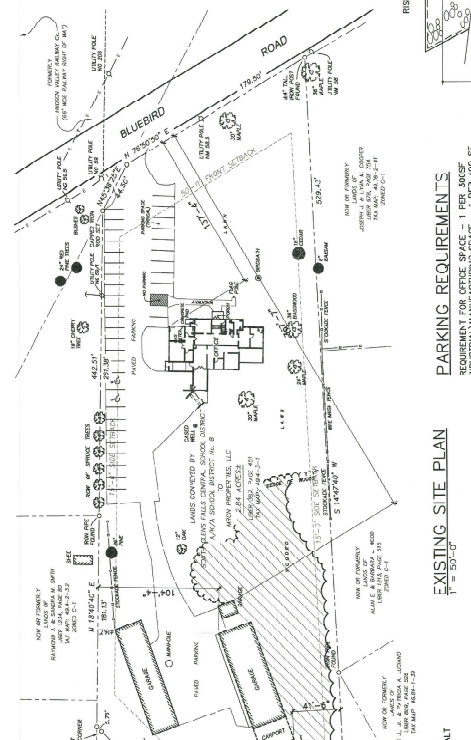
TYPICAL EAVE TRENCH DETAIL
NE



TYPICAL DRYWELL DETAIL
N TO SCALE

PROPOSED USES FOR NEW FACILITY ARE LIMITED TO THOSE USES WHICH ARE ALLOWED IN THE C-1 COMMERCIAL ZONE OF PLANNING BOARD APPROVAL.

FOR PIPES 24" AND SMALLER PRECAST REINFORCED CONCRETE CATCH BASIN



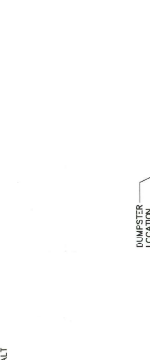
PARKING REQUIREMENTS

INDUSTRIAL/MANUFACTURING SPACE = 1 PER 400 SF
OR 1 PER EACH 3 EMPLOYEES - WHICHEVER IS GREATER
TOTAL OFFICE AREA = 4,471 SF = 12 SPACES
TOTAL BUILDING SPACE = 2,307 SF = 8 SPACES
NEW OFFICE/CONTRACTOR SPACE = 3,600 SF OFFICE AREA SPACES CONTRACTOR SPACE = 71.50 SPACES
TOTAL SPACES REQUIRED = 50
TOTAL SPACES TO BE PROVIDED = 54
TOTAL LOADING SPACES = 2 SPACES

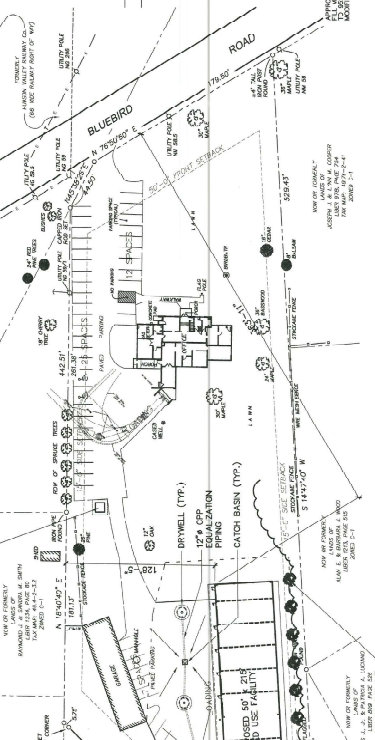
EXISTING SITE PLAN
N TO SCALE

PROVIDE 12" MIN. COMPACTED GRAVEL SUBGRADE
2" MIN. COMPACTED GRAVEL SURFACE

UNDEGRADED DEPTH OF ROCK



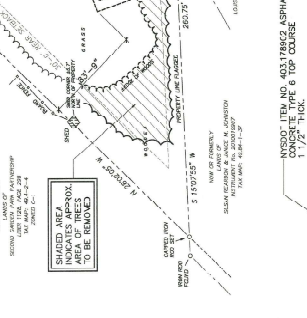
TYPICAL PAVEMENT DETAIL
N.T.S.



PROPOSED SITE PLAN
N TO SCALE

PROVIDE 12" MIN. COMPACTED GRAVEL SUBGRADE
2" MIN. COMPACTED GRAVEL SURFACE

UNDEGRADED DEPTH OF ROCK



PROJECT LOCATION MAP
N TO SCALE

50' 0 25 50 100
GRAPHIC SCALE
N TO SCALE

FOR PIPES 24" AND SMALLER PRECAST REINFORCED CONCRETE CATCH BASIN

PROVIDE 12" MIN. COMPACTED GRAVEL SUBGRADE
2" MIN. COMPACTED GRAVEL SURFACE

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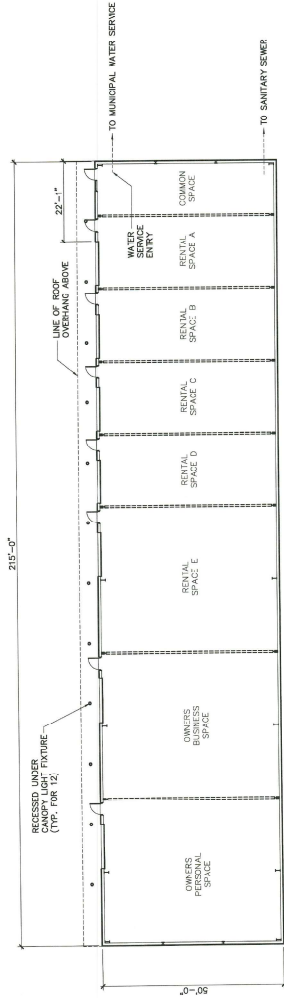
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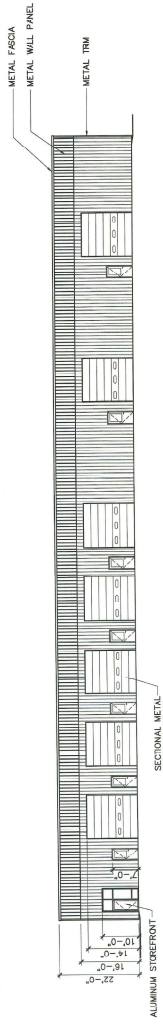
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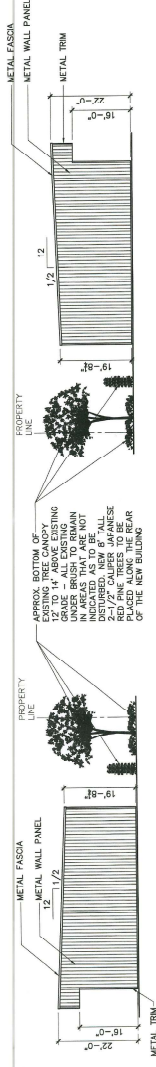
OVERALL BUILDING PLAN
1/16" = 1'-0"



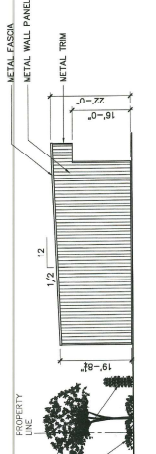
OVERALL WEST ELEVATION
1/16" = 1'-0"



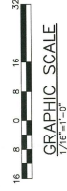
OVERALL EAST ELEVATION
1/16" = 1'-0"



OVERALL SOUTH ELEVATION
1/16" = 1'-0"



OVERALL NORTH ELEVATION
1/16" = 1'-0"



THE SCALE BELOW IS IN DECIMAL FEET. DIMENSIONS SHOULD BE ROUNDED TO THE NEAREST 1/8\"/>

AS NOTED
DRAWN BY
DRAWING TITLE
OVERALL FLOOR PLAN & EXTERIOR ELEVATIONS
DRAWING NO. A-1

RUCINSKI HALL ARCHITECTURE

New Mixed Use Commercial Facility for
MRCN Properties, LLC
6 Bluebird Road, South Glens Falls, New York 12803
Town of Moreau, New York

THIS IS TO BE AS SHOWN AND IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, AND COMMENTS. THIS ASSOCIATION PUBLISHED RECOMMENDATIONS ARE GENERALLY ACCEPTED LOCAL PRACTICES FOR THE CONSTRUCTION INDUSTRY.

RUCINSKI HALL ARCHITECTURE
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www.rucinskihall.com

NO.	DESCRIPTION	DATE